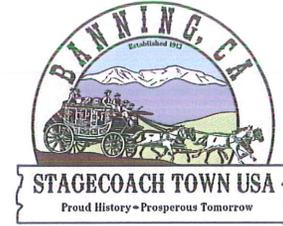


**Community Development Dept.**  
**Building/Safety Division**  
 P.O. Box 998  
 Banning, CA 92220  
 (951) 922-3120



## General Building Plan Submittal Information

Plans may be submitted with a completed application at the Building/Safety Division counter Monday through Friday between the hours of 8:00 A.M. and 5:00 P.M. (except legal holidays). Plans submitted without a completed application will not be accepted.

**Plan check fees MUST be paid when plans are submitted for plan review.**

The number of plan sets required for submittal is dependent on the scope of your project.

**Six (6) copies required**

Six (6) full sets of drawings, two (2) full sets of all calculations and reports are required for all new single family dwellings, large residential additions (500 square feet and above), new commercial/ industrial construction, large commercial additions and commercial tenant improvements (500 square feet and above).

**Five (5) copies required**

Four (4) full sets of drawings, plus one (1) set consisting of just a site plan and floor plan for the Assessor's office is required for small residential additions (under 500 square feet) and small commercial additions and tenant improvements (under 500 square feet).

All plans are submitted to the Building/Safety Division of the Community Development Department with appropriate plan check fees to be paid upon submission. The Building/Safety Division will then route plans sets to the appropriate departments for review, during the review process questions may be directed to the reviewing departments/divisions at the following phone numbers:

Building/Safety	Planning	Public Works	Fire	Electric
Norma Barrett	Yvonne Franco	Arturo Vela	Steve Swarhout	Mike Steen
922-3120	922-3160	922-3134	922-3167	922-3260

Upon completion of review by the various departments/divisions you will be contacted by the Building/Safety Division as to the disposition of the review (i.e. plans approved, plans returned with corrections, plans returned with project conditions). You may choose to deal with each review as it is returned to the Building/Safety Division or you may choose to wait until all reviews have been returned and pick-up the entire package at one time.

When your project plans have received approval from all reviewing departments you can then obtain the appropriate building permits for your project from the Building/Safety Division. Any permits for construction in the public right-of-way (i.e. curb, gutter, sidewalk, street, and improvements in the street) these permits are issued by the Engineering/Public Works Department.

### *Expiration of Plan Review*

Plan review application approval is valid for a period of 180 days after application date (plan check submittal date) – if the permit is not obtained within that time period the approval expires and becomes null and void. The Building Official may extend the time for action by the applicant for a period of 90 days upon written request by the applicant showing that circumstances beyond the control of the applicant have prevented action from being taken. In order to renew action on an application after expiration the applicant shall resubmit plans and pay a new plan review fee.



## DRAWING REQUIREMENTS: PLANS FOR NEW HOMES & ROOM ADDITONS

### **WHAT INFORMATION MUST BE SHOWN ON THE PLANS?**

**(See attached sample drawings for additional information.)**

- 1. SITE PLAN:** The site plan must be drawn to scale, show footprint of existing and proposed construction with setbacks identified between the property lines and any structures, existing and new. Provide a north arrow. On new homes, the site plan must include the locations of utility meters, driveway location, right-of-ways and/or easements. An information box shall be placed in the bottom right corner indicating the street address, site area, owner's name, and the name of the person preparing the plans.
- 2. FOUNDATION PLAN:** Provide a plan view of the foundation and slab and provide across sectional footing detail, show all holdown hardware and indicate the anchor bolt size and spacing.
- 3. FLOOR PLAN:** Provide a double lined plan view of proposed job. Indicate size and location of all doors, windows, and headers. Show size, spacing and direction of ceiling joists. Identify all plumbing fixtures, electrical devices, outlets, lights, and switches. For room additions, show the existing use, square footage and the location and size of windows in the adjacent rooms. Indicate the proposed square footage of the addition and its use.
- 4. ROOF PLAN:** If roof is to be a trussed roof, provide a truss layout plan and truss calculations prepared by a California registered architect or engineer. If roof is conventionally framed, indicate size, spacing and direction of rafters. Identify roof covering materials and underlayment type and size (ie: 15/32" CDX plywood).
- 5. EXTERIOR ELEVATIONS:** For room additions, provide three (3) exterior elevations identified as front, left, and right sides. Show doors, windows, finished floor line, exterior finish, and indicate roof pitch. On new homes, provide all four (4) exterior elevations.
- 6. REQUIRED DETAIL:** Provide a cross section of the proposed work. Show foundation, wall studs, ceiling joists, rafters, roof pitch, etc. Indicate size, spacing, and materials proposed. If ceiling is vaulted, show cross section and structural connections.
- 7. FINISH MATERIALS:** Indicate ceiling, interior and exterior wall, and floor finish materials on the floor plan.
- 8. ENGINEERING (STRUCTURAL) CALCULATIONS:** Submit two (2) complete sets of structural calculations and/or truss calculations with the architect's or engineer's original wet signature and stamp on both sets of calculations and plans. The plans and calculations must correlate with each other.

NOTE: If the proposed construction conforms to the conventional construction parameters, structural calculations are not required. See the "Conventional Construction Parameters" handout for additional information.

9. **T-24 ENERGY CONSERVATION INFORMATION:** Generally, for room additions the standards apply only to the new habitable areas, nothing needs to be done to the existing portions of the home. Room additions or new homes may be constructed using either the "Package Compliance Method" or the "Point Calculation Compliance Method".

The "package" regulations include a simplified method for construction of energy efficient buildings. This simplified method allows the following minimums, which must be shown on your plans:

- A. R-38 ceiling insulation
- B. R-21 wall insulation
- C. R-19 insulation in any raised floor areas.
- D. Dual glazing (not to exceed 20% of the gross floor area plus the area of any removed glazing for additions in package D)
- E. The room addition or new home must also comply with the Mandatory Features and Devices regulations.
- F. Submit required documentation.

For new dwellings and room additions that cannot meet the prescriptive requirements of the Package Compliance Method, the Point System Compliance Method must be used. The Point System Compliance Method **requires that an individual knowledgeable about the requirements of Title 24 Energy Conservation regulations** perform a series of calculations to determine the appropriate levels of insulation, size of mechanical equipment and size of water heater.

**ADDITIONAL REQUIREMENTS:** Additional information may be required by other City Departments or by the Building Safety Division in order to convey needed information relative to the construction of your project. Please feel free to contact any member of the Building Safety Division for additional assistance with your project here in the City of Banning.



## CONVENTIONAL CONSTRUCTION PARAMETERS FOR NEW HOMES AND ROOM ADDITIONS

The Uniform Building Code, Section 2326 discusses some of the basic concepts and provisions relevant to conventional wood framed construction.

By following the guidelines listed below, plans for a typical wood framed home may be prepared without the review of a professional architect or engineer.

- 1) A maximum of two stories is allowed (not split level).
- 2) Rectangular or L-shaped in plan (not unduly irregular).
- 3) Continuous external and internal bearing stud wall type footings (no spread footings or stepped footings).
- 4) Continuous and uninterrupted floor diaphragms (except stairwell openings).
- 5) Gable or hipped roof (no gambrel, shed, split shed, or flat roofs).
- 6) Roof pitch between 3 in 12 and 6 in 12 inclusive.
- 7) Distance between exterior bearing walls:
  - a. Thirty-five feet with an interior bearing wall.
  - b. Twenty-five feet without an interior bearing wall.
- 8) No floor area or walking deck over the garage.
- 9) Exterior and interior walls braced in accordance with Sec. 2326.11 of the code.
- 10) Limit header spans to no more than 12' when supporting roof loads only, and no more than 10' when supporting floor loads.
- 11) Headers required to be larger than 4" X 12" due to excessive spans or loads will require analysis by an architect or engineer.
- 12) Residential garages with less than four feet of wall space on either side of the overhead door are required to be designed by an architect or engineer.

FLOOR AREA (sq. ft.) EXISTING: \_\_\_\_\_ NEW: \_\_\_\_\_  
OWNER'S NAME: \_\_\_\_\_  
PROJECT ADDRESS: \_\_\_\_\_

NOTE: OWNER'S NAME AND ADDRESS SHOULD APPEAR ON EACH DRAWING SHEET

FOR NEW HOMES, THE PLOT PLAN MUST ALSO INCLUDE:

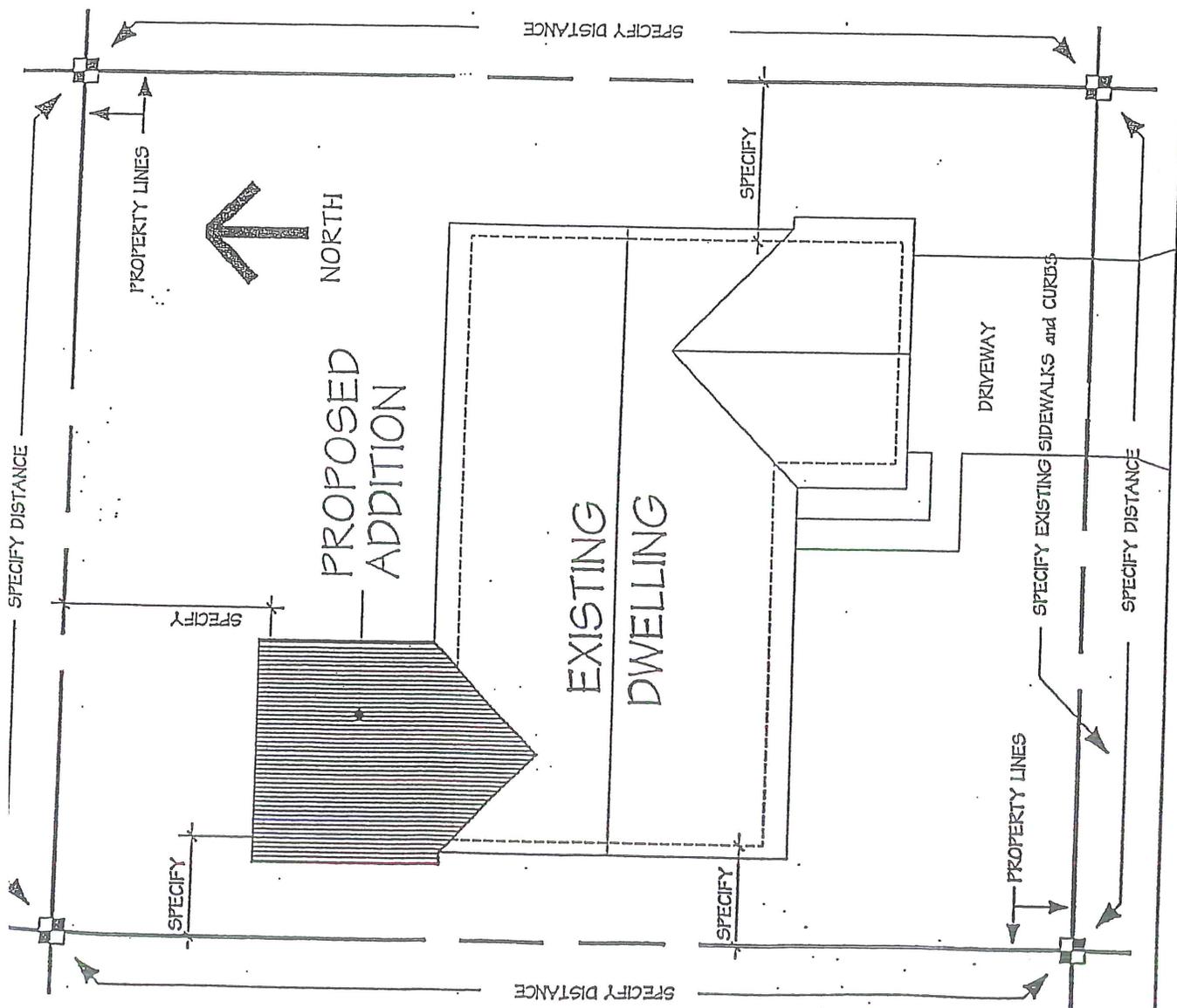
- UTILITY METER LOCATIONS
- ADJACENT DRIVEWAYS WITHIN 5 FT. OF P.L. (IF ANY)
- EXISTING OR PROPOSED RIGHT-OF-WAY EASEMENTS
- CONTOUR LINES TO SHOW TOPOGRAPHY
- LEGAL DESCRIPTION OF PROPERTY
- SITE AREA (SQ. FT.)
- ZONE AND ANY ZONING CASE NUMBERS
- OWNER'S ADDRESS AND PHONE NUMBER

SIGNATURE OF PERSON THAT PREPARED PLANS \_\_\_\_\_

DATE PLANS PREPARED \_\_\_\_\_

# PLOT PLAN

SPECIFY DRAWING SCALE \_\_\_\_\_



STREET NAME

PROVIDE UNDERFLOOR ACCESS:  
MIN. 18" x 24" SCREENED OPENING  
PROVIDE UNDERFLOOR VENTILATION:  
1 SQ. FT. VENT AREA FOR EACH  
150 SQ. FT. UNDER-FLOOR AREA

ANCHOR BOLTS  
SPECIFY:  
▪ MIN. 5/8" dia. x 10" Length  
▪ MIN. 7" EMBEDMENT  
▪ MAX. SPACING: 6'-0" o/c  
▪ MAX. 1'-0" FROM CORNERS

ANCHOR BOLTS  
SPECIFY:  
▪ MIN. 1/2" dia. x 10" Length  
▪ MIN. 7" EMBEDMENT  
▪ MAX. SPACING: 6'-0" o/c  
▪ MAX. 1'-0" FROM CORNERS

OPTION 1  
RAISED WOOD FLOOR

OPTION 2  
CONCRETE SLAB

MINIMUM 3 1/2" THICK  
CONCRETE SLAB

FLOOR JOISTS  
SPECIFY:  
▪ DIRECTION  
▪ SIZE & SPACING

SPECIFY WIDTH  
OF FOOTING

SPECIFY WIDTH  
OF FOOTING

SPECIFY

SPECIFY

FLOOR SHEATHING  
SPECIFY:  
▪ MATERIAL  
▪ THICKNESS  
▪ PANEL SPAN RATING  
▪ NAILING PATTERN

EXISTING  
RESIDENCE

# FOUNDATION PLAN

SPECIFY DRAWING SCALE

NEW WALLS

EXISTING WALLS

WALLS REMOVED

THIS SYMBOL INDICATES THAT ON SHEET 7 THERE IS A CROSS-SECTION "A-A" THROUGH THE ADDITION

NEW WINDOWS & DOORS

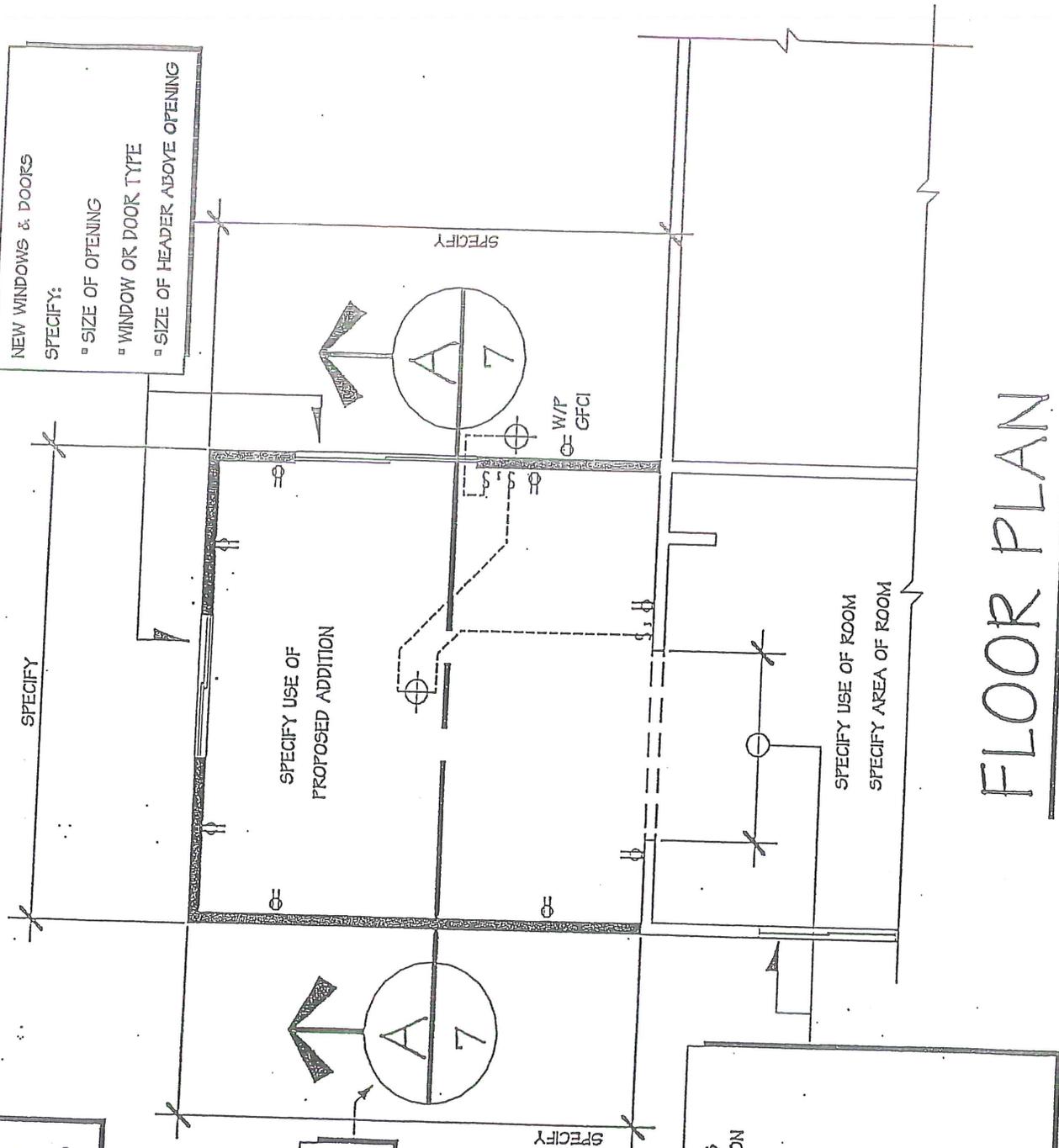
SPECIFY:

- SIZE OF OPENING
- WINDOW OR DOOR TYPE
- SIZE OF HEADER ABOVE OPENING

EXISTING WINDOWS, DOORS AND ROOMS WHICH ARE AFFECTED BY ROOM ADDITION

SPECIFY:

- SIZE OF EACH WINDOW OR DOOR IN EACH ROOM ADJACENT TO PROPOSED ADDITION
- SQUARE FOOTAGE & USE OF EACH ROOM ADJACENT TO PROPOSED ADDITION



# FLOOR PLAN

SPECIFY DRAWING SCALE

NEW ROOF SHEATHING  
 SPECIFY:  
 ■ MATERIAL  
 ■ THICKNESS  
 ■ PANEL SPAN RATING  
 ■ NAILING PATTERN

NEW ROOF AREA  
 SPECIFY:  
 ■ ROOFING MATERIAL  
 ■ ROOF PITCH  
 ■ LENGTH OF OVERHANGS

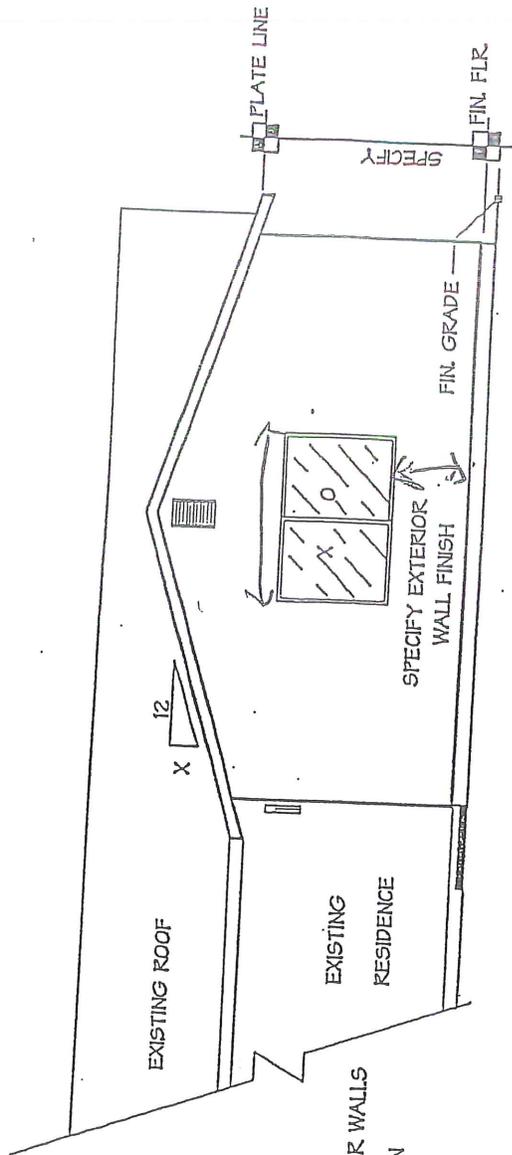
PROPOSED ROOF FRAMING  
 SPECIFY:  
 ■ RAFTER SIZE & SPACING  
 ■ RAFTER DIRECTION  
 ■ CLNG. JOIST SIZE & SPACING  
 ■ CLNG. JOIST DIRECTION  
 ■ SIZE OF RIDGE BOARD

NOTE TRUSS CALCULATIONS ARE  
 REQUIRED FOR FACTORY-BUILT  
 PREFABRICATED ROOF TRUSSES



ROOF PLAN

SPECIFY DRAWING SCALE



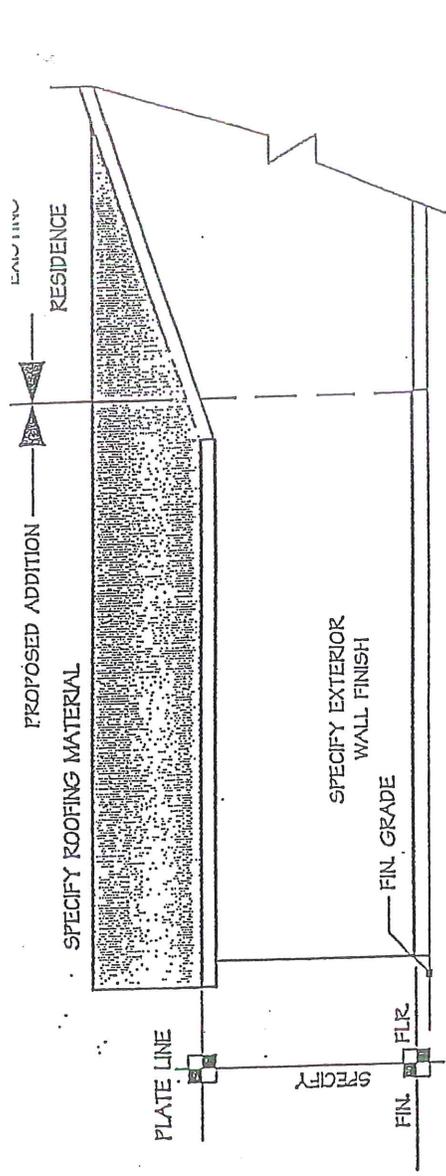
REAR

EXTERIOR ELEVATION

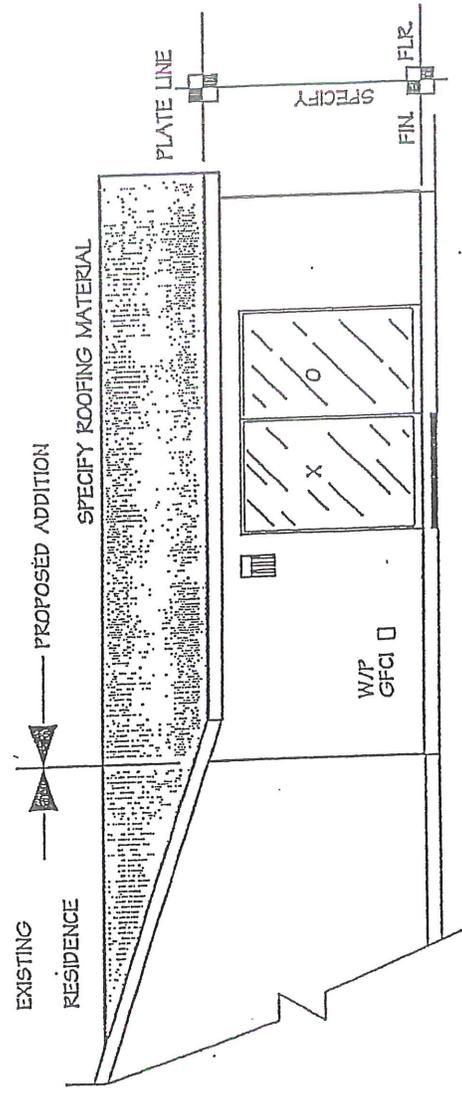
SPECIFY DRAWING SCALE

- EXTERIOR ELEVATIONS  
SPECIFY:
- REAR, LEFT and RIGHT SIDE VIEWS
  - DOORS and WINDOWS
  - EXTERIOR WALL FINISH MATERIALS
  - ROOFING MATERIAL
  - ROOF PITCH
  - METHOD OF LATERAL BRACING OF EXTERIOR WALLS
  - FINISHED FLOOR to PLATE LINE DIMENSION
  - LINE OF FINISHED GRADE

- ADDITIONAL REQUIREMENTS FOR NEW HOMES
- FRONT ELEVATION
  - SCREENING METHODS FOR EQUIPMENT (IF APPLICABLE)
  - DESIGN REVIEW MANDATES (IF ANY), I.E., COLORS, MATERIALS, ETC.



RIGHT SIDE



LEFT SIDE

EXTERIOR ELEVATIONS

SPECIFY DRAWING SCALE

